

PROPERTY LOCATION

No	Alt No	Direction/Street/City
35		CLEVELAND ST, ARLINGTON

OWNERSHIP

OWNERSHIP			Unit #:	
Owner 1:	HAINES TIMOTHY & KELLY			
Owner 2:				
Owner 3:				
Street 1:	35 CLEVELAND ST			
Street 2:				
Twn/City:	ARLINGTON			
St/Prov:	MA	Cntry:		Own Occ: Y
Postal:	02474		Type:	

PREVIOUS OWNER

Owner 1:	MARTORANA NINA & ROGER -		
Owner 2:	-		
Street 1:	108 RONALD ROAD		
Twn/City:	ARLINGTON		
St/Prov:	MA	Cntry:	
Postal:	02474		

NARRATIVE DESCRIPTION

This parcel contains 5,000 Sq. Ft. of land mainly classified as Two Family with a Multi-Garden Building built about 1910, having primarily Vinyl Exterior and 2854 Square Feet, with 2 Units, 3 Baths, 0 3/4 Bath, 0 HalfBath, 11 Rooms, and 5 Bdrms.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z	R2	TWO FAMIL	100	water		
o				Sewer		
n				Electri		
Census:				Exmpt		
Flood Haz:						
D				Topo	1	Level
s				Street		
t				Gas:		

LAND SECTION (First 7 lines only)

[illegible]

Total AC/HA:	0.11478	Total SF/SM:	5000	Parcel LUC:	104	Two Family	Prime NB Desc:	ARLINGTON		Total:	456,000	Spl Credit		Total:	456,000
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Disclaimer: This Information is believed to be correct but is subject to change and is not warranted.

Database: AssessPro - FY2021

apro

2021

Residential

CARD**ARLINGTON**

APPRAISED:

Total Card / Total Parcel

1,153,400

USE VALUE:

1,153,400 / 1,153,400

ASSESSED:

1,153,400 / 1,153,400

IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value	Legal Description	User Acct
104	5000.000	697,400		456,000	1,153,400		16468
							GIS Ref
							GIS Ref
Total Card	0.115	697,400		456,000	1,153,400	Entered Lot Size	
Total Parcel	0.115	697,400		456,000	1,153,400	Total Land:	
Source: Market Adj Cost		Total Value per SQ unit /Card:		404.13	/Parcel: 404.1	Land Unit Type:	Insp Date
							07/06/17

PREVIOUS ASSESSMENT

PREVIOUS ASSESSMENT									Parcel ID	025.0-0002-0025.0		!2032!	
Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date			
2020	104	FV	690,200	0	5,000.	456,000	1,146,200	1,146,200	Year End Roll	12/18/2019	PRINT		
2019	104	FV	384,400	0	5,000.	484,500	868,900	868,900	Year End Roll	1/3/2019	Date	Time	
2018	105	FV	384,400	0	5,000.	353,400	737,800	737,800	Year End Roll	12/20/2017	12/10/20	17:32:50	
2017	105	FV	360,700	0	5,000.	307,800	668,500	668,500	Year End Roll	1/3/2017	LAST REV		
2016	105	FV	360,700	0	5,000.	262,200	622,900	622,900	Year End	1/4/2016	Date	Time	
2015	105	FV	321,800	0	5,000.	256,500	578,300	578,300	Year End Roll	12/11/2014	09/09/20	08:31:34	
2014	105	FV	321,800	0	5,000.	210,900	532,700	532,700	Year End Roll	12/16/2013	danam		
2013	105	FV	334,700	0	5,000.	200,600	535,300	535,300		12/13/2012			

SALES INFORMATION

TAX DISTRICT

[illegible]

PAT ACCT.

BUILDING PERMITS

[illegible]

ACTIVITY INFORMATION

Date	Result	By	Name
9/9/2020	Permit Visit	DGM	D Mann
4/16/2019	SQ Returned	JO	Jenny O
7/6/2017	MEAS&NOTICE	KB	Kevin B
4/23/2009	Measured	372	PATRIOT
11/2/1999	Inspected	264	PATRIOT
10/5/1999	Mailer Sent		
10/5/1999	Measured	264	PATRIOT
11/1/1981		MS	

Sign:

VERIFICATION OF VISIT NOT DATA

___/___/___

Sign:

VERIFICATION OF VISIT NOT DATA

